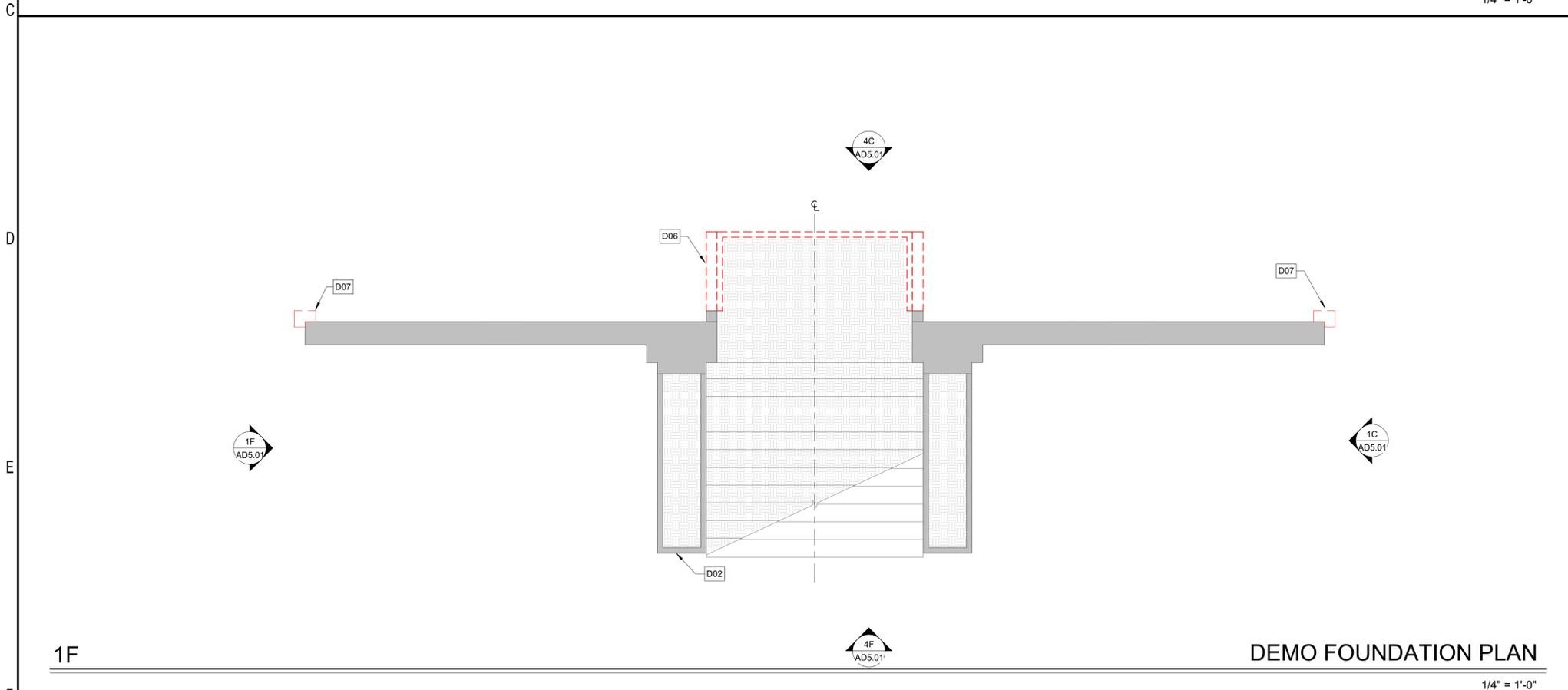


1C DEMO FLOOR PLAN
1/4" = 1'-0"



1F DEMO FOUNDATION PLAN
1/4" = 1'-0"

GEN. NOTES - DEMO PLAN

1. DASHED LINES ON DEMOLITION DRAWINGS INDICATE EXISTING ITEMS TO BE REMOVED. DRAWINGS ARE DIAGRAMMATIC AND DO NOT SHOW EVERY CONDITION, CONNECTION AND DETAIL. ALL OTHER DEVICES, MATERIALS AND ACCESSORIES NOT SPECIFICALLY DESCRIBED OR CALLED FOR, BUT WHICH ARE REQUIRED FOR A COMPLETE AND FINISHED INSTALLATION FOR THE WORK, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
2. WEATHERPROOF ALL EXTERIOR OPENINGS CUT IN DURING DEMOLITION.
3. FOR SIZE AND LOCATION OF ALL NEW OPENINGS FOR NEW DOORS & WINDOWS SEE ARCHITECTURAL DRAWINGS.
4. COORDINATE THE REMOVAL OF ALL STRUCTURAL ELEMENTS W/ ARCHITECTURAL AND STRUCTURAL DRAWINGS.
5. PLANS MAY BE ROTATED FOR CLARITY. REFER TO NORTH ARROWS FOR ACTUAL ORIENTATION.
6. PROTECT ALL EXISTING TO REMAIN.
7. PRIOR TO DEMOLITION, LOCATE, IDENTIFY, STUB OFF, AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN.



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KEYED NOTES - DEMO

- D01 DEMO EXISTING MTL HANDRAIL. PATCH AND REPAIR EXISTING CONC STAIR WHERE HANDRAIL IS REMOVED
- D02 PROTECT MASONRY WALL BELOW. SEE REPAIR SHEETS FOR MASONRY WALL TREATMENT
- D03 REMOVE EXISTING LIMESTONE LEDGE CAP FOR REFINISHING. RESET IN ORIGINAL LOCATION ON MASONRY WALLS
- D04 EXISTING MASONRY WALL & LIMESTONE SURROUND. PROTECT IN PLACE. PROVIDE SHORING WHERE NECESSARY FOR LANDING DEMO
- D05 LIMESTONE ARCH OVERHEAD. PROTECT IN PLACE. SEE REPAIR SHEETS FOR SCOPE
- D06 DEMO EXISTING CONCRETE LANDING AND BEARING WALLS BELOW
- D07 DEMO EXISTING MASONRY WALL. PROTECT ADJACENT STRUCTURE AS REQUIRED DURING DEMO
- D08 EXISTING LIMESTONE MASONRY. REPAIR AS PRESCRIBED PER REPAIR SHEETS
- D09 EXISTING MASONRY WING WALL TO REMAIN. CLEAN AND REPAIR TOP COURSE FOR NEW CONCRETE LEDGE CAP
- D10 REMOVE PORTION OF EXISTING MASONRY AT END OF WALL IN PREPARATION FOR NEW END WALL MASONRY. SEE CONSTRUCTION PLANS FOR NEW WALL NOTES

PLAN LEGEND

- EXISTING WALL
- DEMOLISHED WALL

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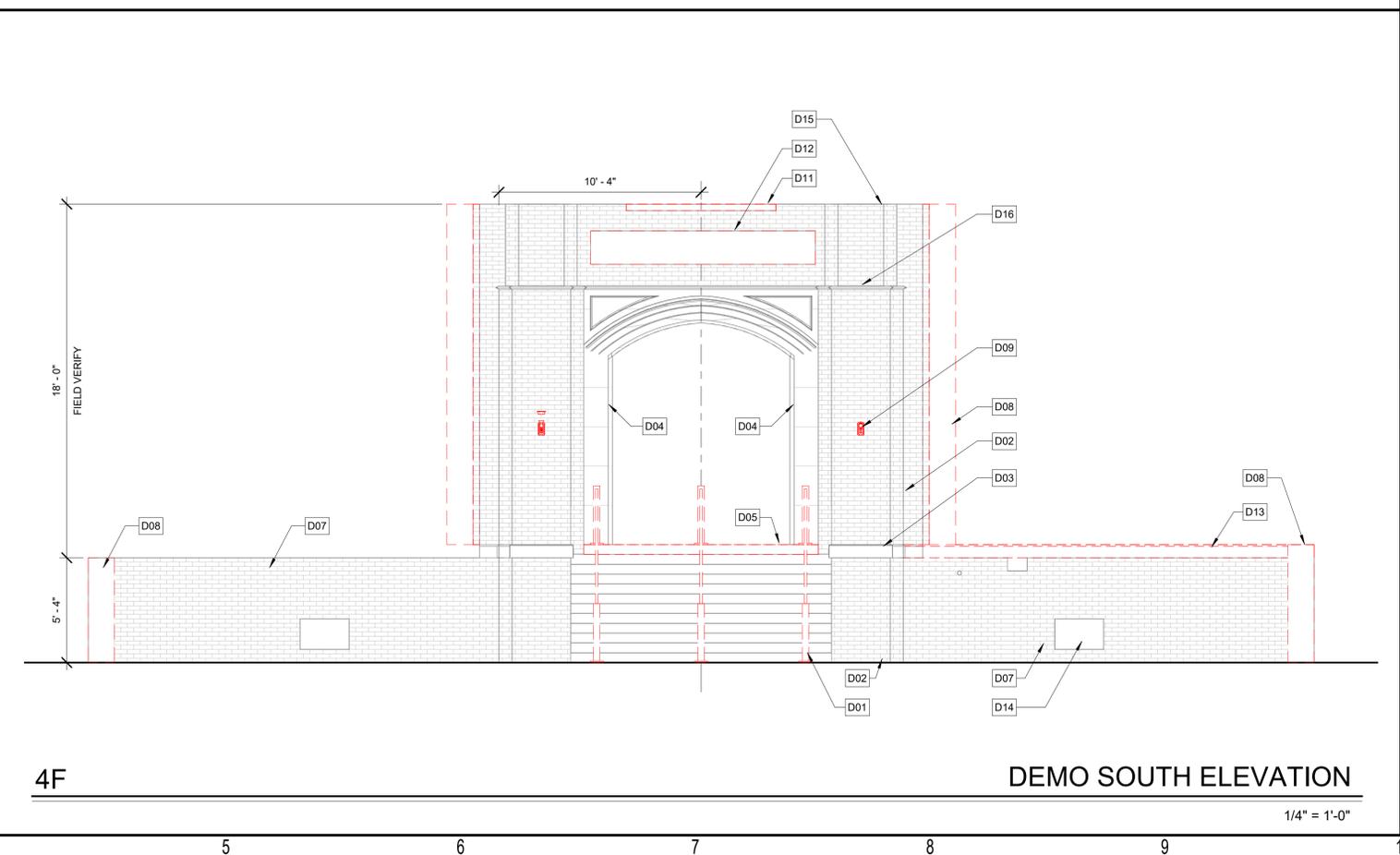
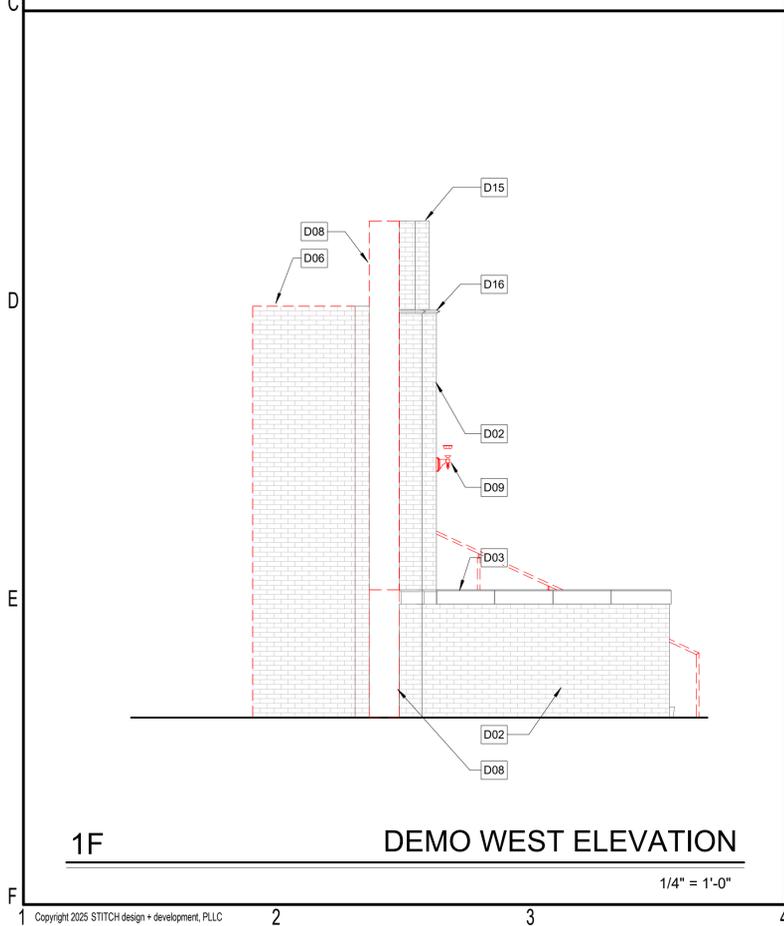
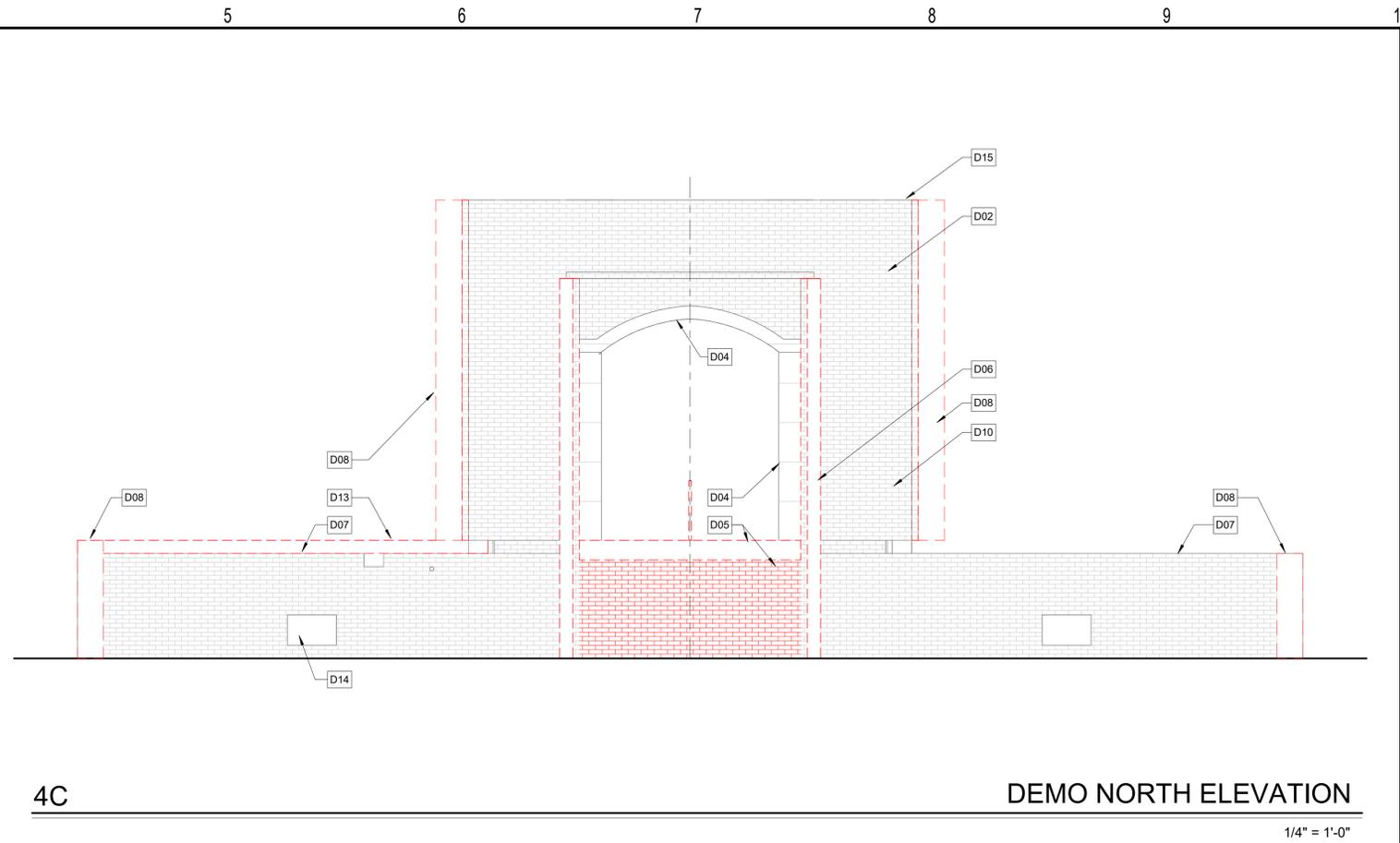
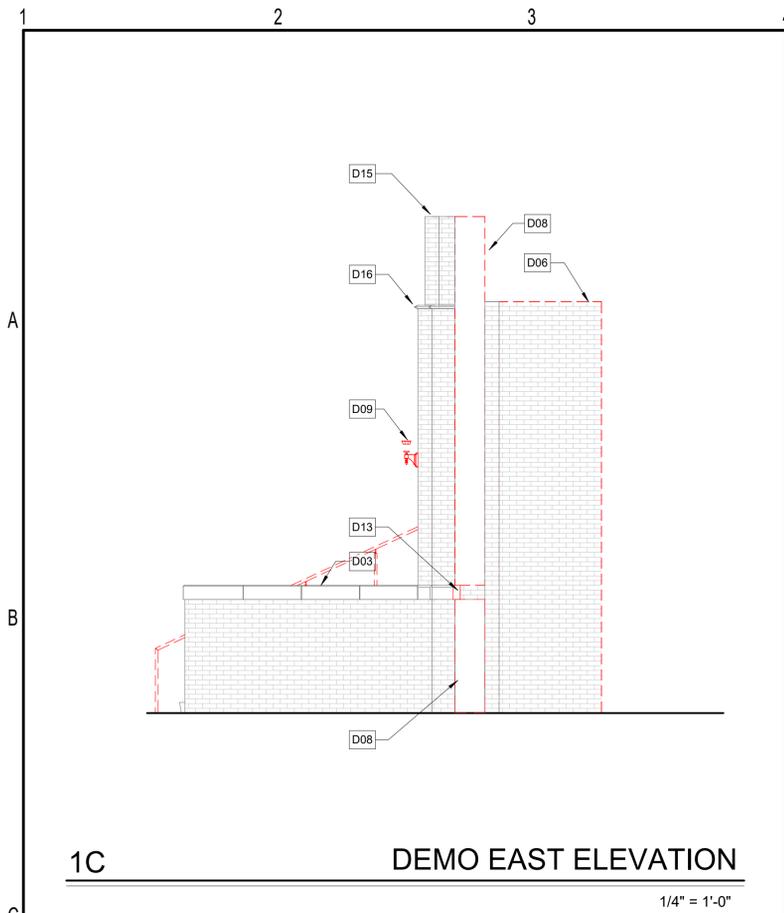
CONSTRUCTION DOCUMENTS

Revisions		
No.	Description	Date

date: 02/17/2025
commission: 23-670

sheet title: **DEMO PLANS**

sheet no.: **AD2.01**



- KEYED NOTES**
- D01 DEMO EXISTING MTL HANDRAIL. PATCH AND REPAIR EXISTING CONC STAIR WHERE HANDRAIL IS REMOVED
 - D02 EXISTING MASONRY WALL TO REMAIN. PROTECT IN PLACE DURING DEMO. SEE REPAIR SHEETS FOR EXISTING BRICK TREATMENT
 - D03 REMOVE EXISTING LIMESTONE LEDGE CAP FOR REFINISHING. RESET IN ORIGINAL LOCATION ON EXISTING MASONRY WALLS. SEE REPAIR SHEETS FOR MORE DETAIL.
 - D04 EXISTING LIMESTONE ARCH TO REMAIN. PROTECT IN PLACE. CLEAN, REPOINT, AND RESET STONE PANELS AS SPECIFIED BY REPAIR SHEETS
 - D05 DEMO EXISTING CONCRETE LANDING AND BEARING WALLS BELOW. PROTECT AND SHORE ADJACENT WALLS TO REMAIN
 - D06 DEMO EXISTING MASONRY WALL. SALVAGE EXISTING BRICK AS NEEDED AND STORE ON SITE. PROTECT ADJACENT WALLS DURING DEMO
 - D07 EXISTING MASONRY WING WALL TO REMAIN. CLEAN AND REPAIR TOP COURSE FOR NEW CONCRETE LEDGE CAP
 - D08 REMOVE PORTION OF EXISTING MASONRY AT END OF WALL IN PREPARATION FOR NEW END WALL MASONRY. WEAVE BRICK INTO THE EXISTING RATHER THAN A SAW CUT EDGE
 - D09 DEMO EXISTING (NON ENERGIZED) LIGHT FIXTURE AND ANY WIRING, ELECTRICAL BOXES, CONDUIT, ETC. PATCH AND REPAIR PER REPAIR AND PRESERVATION SHEETS
 - D10 EXISTING MASONRY BRICK WALL TO REMAIN. REMOVE EXISTING CHARRED FINISHES, MISC ELECTRICAL REMNANTS. CLEAN AND PREP SURFACE FOR NEW MASONRY ANCHORS
 - D11 DEMO EXISTING CONCRETE WINDOW SILL AND INFILL WITH SALVAGED MASONRY. PREP TOP OF WALL FOR NEW CONCRETE PARAPET CAP
 - D12 REMOVE EXTERIOR LAYER OF BRICK AND TEMPORARILY SHORE OPENING FOR INSTALLATION OF SALVAGED CONCRETE SIGNAGE. VERIFY EXISTING SIGNAGE WIDTH AND HEIGHT PRIOR TO EXISTING BRICK REMOVAL
 - D13 DEMO EXISTING CONCRETE LEDGE CAP AND PREP TOP COURSE OF BRICK MASONRY FOR NEW CONCRETE CAP
 - D14 PREP EXISTING MASONRY OPENING FOR NEW SALVAGED BRICK INFILL
 - D15 REPAIR TOP OF EXISTING MASONRY WALL AS REQUIRED IN PREPARATION FOR NEW CONCRETE TOP CAP.
 - D16 EXISTING DECORATIVE LIMESTONE BANDING TO REMAIN. PROTECT AND REPAIR PER REPAIR/PRESERVATION SHEETS

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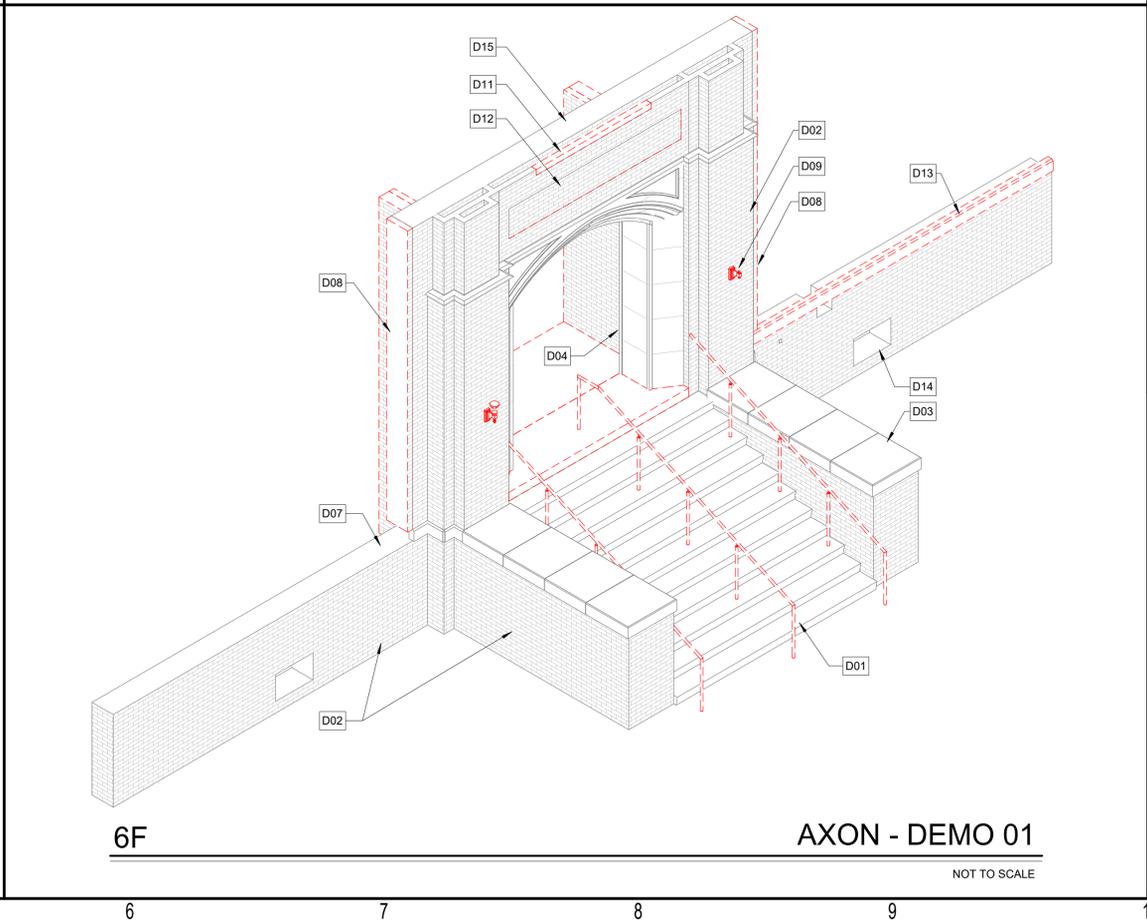
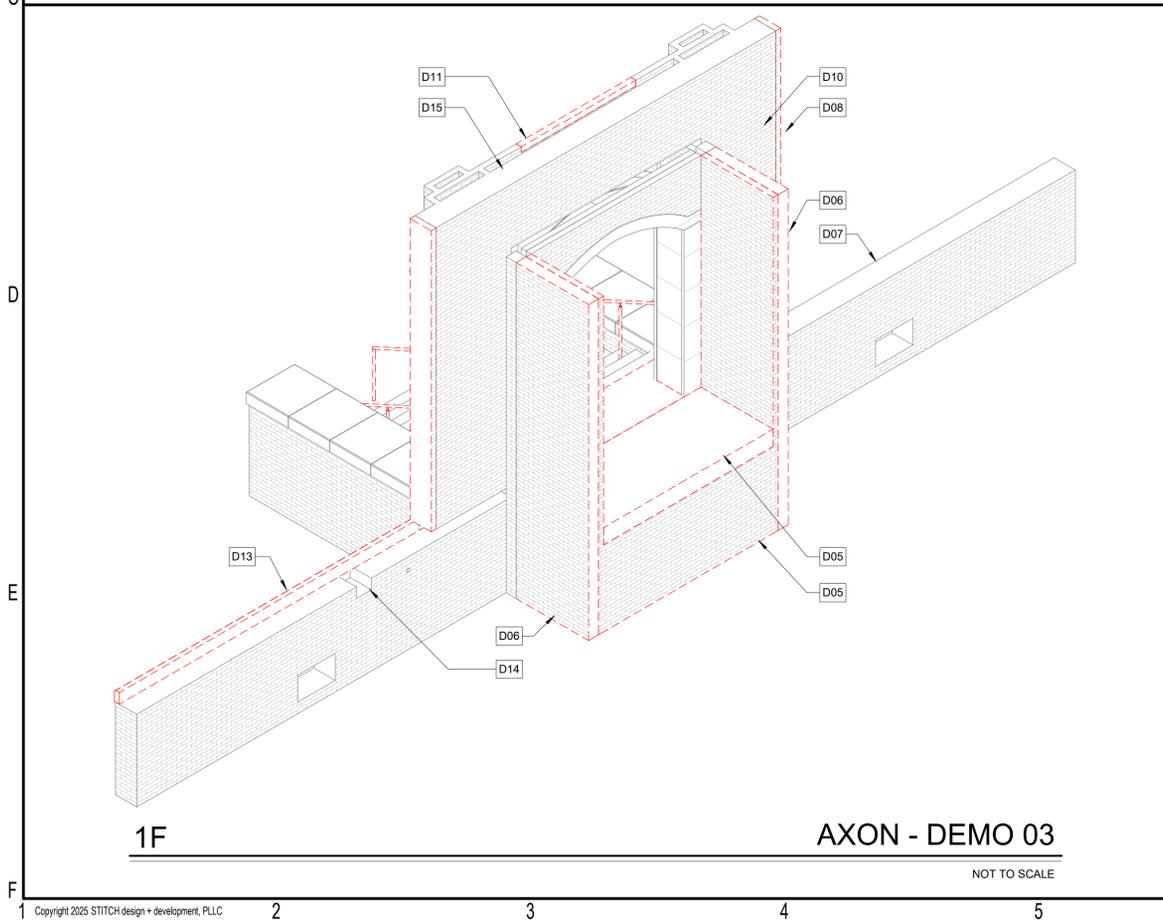
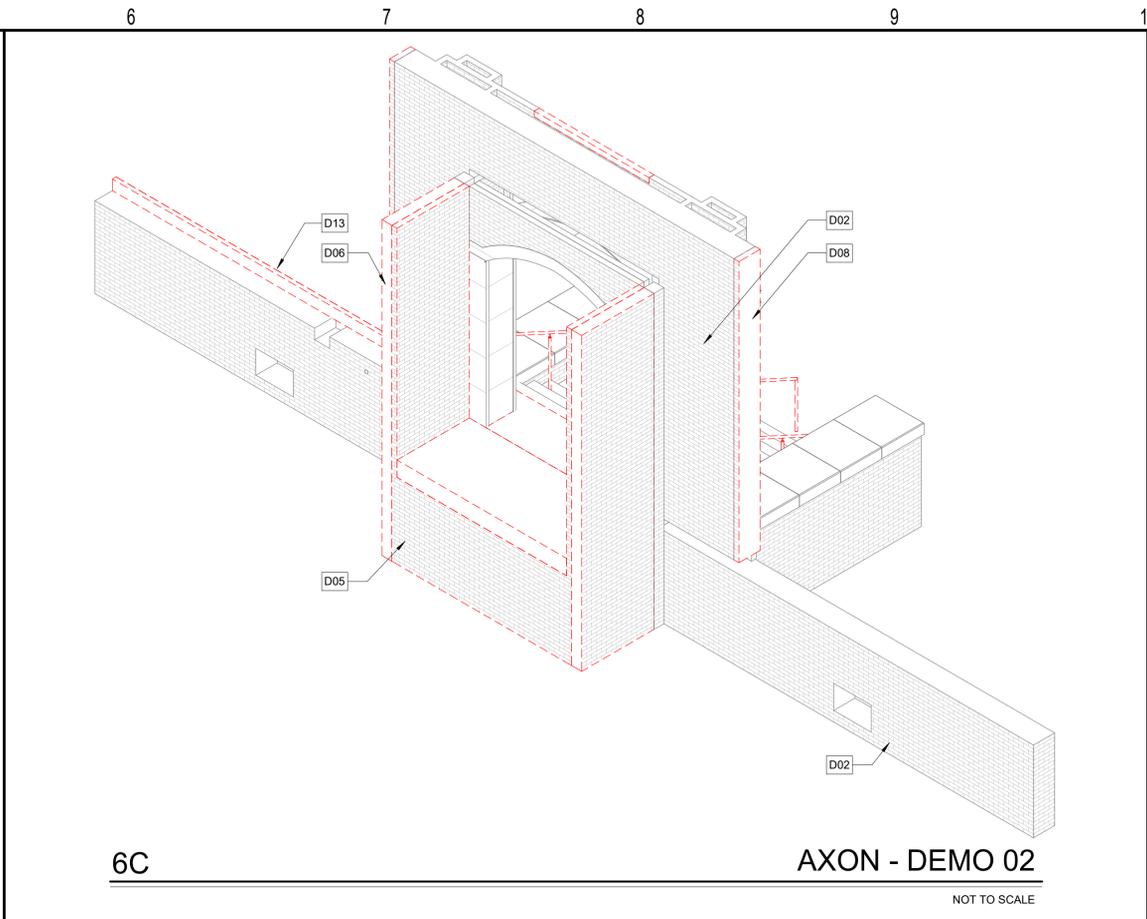
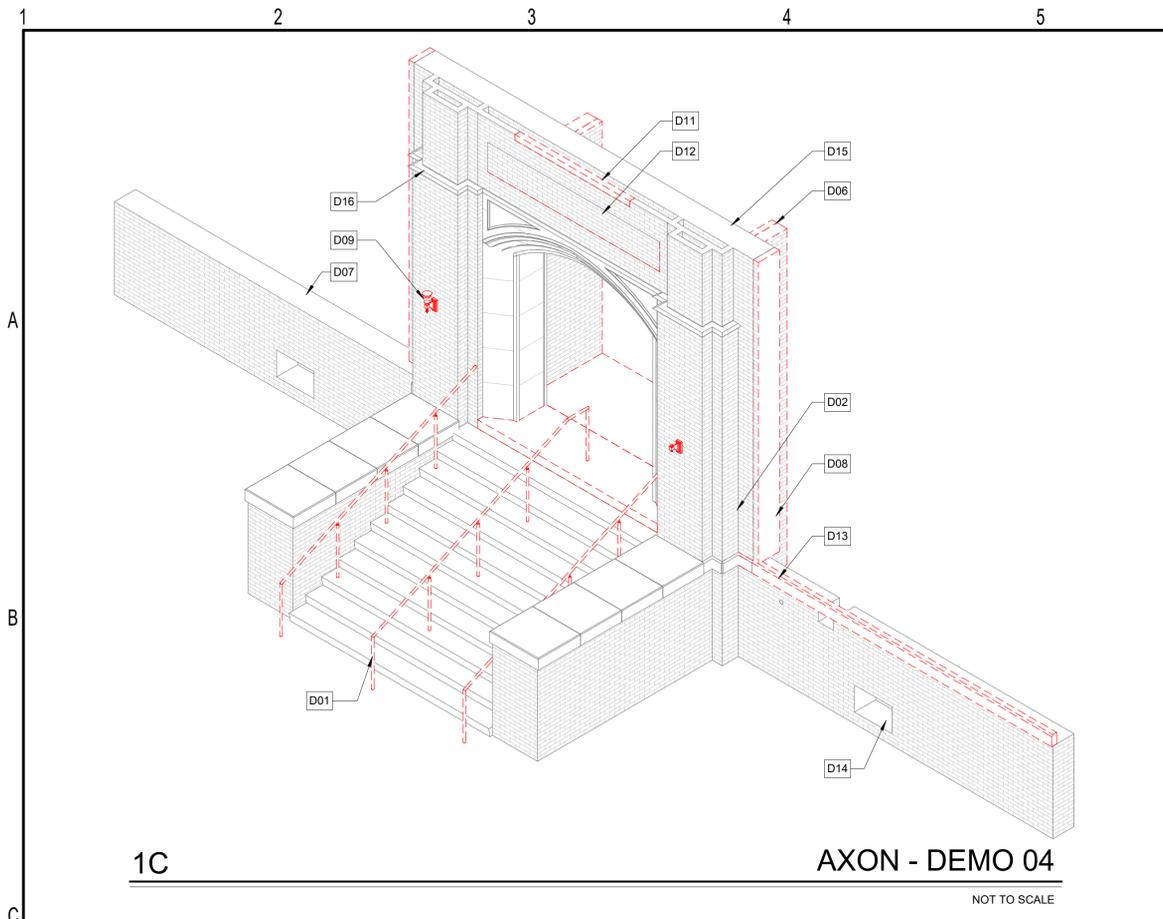
CONSTRUCTION DOCUMENTS

Revisions		
No.	Description	Date

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commission: 23-670

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DEMO ELEVATIONS

sheet no.:
AD5.01



- KEYED NOTES**
- D01 DEMO EXISTING MTL HANDRAIL. PATCH AND REPAIR EXISTING CONC STAIR WHERE HANDRAIL IS REMOVED
 - D02 EXISTING MASONRY WALL TO REMAIN. PROTECT IN PLACE DURING DEMO. SEE REPAIR SHEETS FOR EXISTING BRICK TREATMENT
 - D03 REMOVE EXISTING LIMESTONE LEDGE CAP FOR REFINISHING. RESET IN ORIGINAL LOCATION ON EXISTING MASONRY WALLS. SEE REPAIR SHEETS FOR MORE DETAIL.
 - D04 EXISTING LIMESTONE ARCH TO REMAIN. PROTECT IN PLACE. CLEAN, REPOINT, AND RESET STONE PANELS AS SPECIFIED BY REPAIR SHEETS
 - D05 DEMO EXISTING CONCRETE LANDING AND BEARING WALLS BELOW. PROTECT AND SHORE ADJACENT WALLS TO REMAIN
 - D06 DEMO EXISTING MASONRY WALL. SALVAGE EXISTING BRICK AS NEEDED AND STORE ON SITE. PROTECT ADJACENT WALLS DURING DEMO
 - D07 EXISTING MASONRY WING WALL TO REMAIN. CLEAN AND REPAIR TOP COURSE FOR NEW CONCRETE LEDGE CAP
 - D08 REMOVE PORTION OF EXISTING MASONRY AT END OF WALL IN PREPARATION FOR NEW END WALL MASONRY. WEAVE BRICK INTO THE EXISTING RATHER THAN A SAW CUT EDGE
 - D09 DEMO EXISTING (NON ENERGIZED) LIGHT FIXTURE AND ANY WIRING, ELECTRICAL BOXES, CONDUIT, ETC. PATCH AND REPAIR PER REPAIR AND PRESERVATION SHEETS
 - D10 EXISTING MASONRY BRICK WALL TO REMAIN. REMOVE EXISTING CHARRED FINISHES, MISC ELECTRICAL REMNANTS. CLEAN AND PREP SURFACE FOR NEW MASONRY ANCHORS
 - D11 DEMO EXISTING CONCRETE WINDOW SILL AND INFILL WITH SALVAGED MASONRY. PREP TOP OF WALL FOR NEW CONCRETE PARAPET CAP
 - D12 REMOVE EXTERIOR LAYER OF BRICK AND TEMPORARILY SHORE OPENING FOR INSTALLATION OF SALVAGED CONCRETE SIGNAGE. VERIFY EXISTING SIGNAGE WIDTH AND HEIGHT PRIOR TO EXISTING BRICK REMOVAL
 - D13 DEMO EXISTING CONCRETE LEDGE CAP AND PREP TOP COURSE OF BRICK MASONRY FOR NEW CONCRETE CAP
 - D14 PREP EXISTING MASONRY OPENING FOR NEW SALVAGE BRICK INFILL
 - D15 REPAIR TOP OF EXISTING MASONRY WALL AS REQUIRED IN PREPARATION FOR NEW CONCRETE TOP CAP.
 - D16 EXISTING DECORATIVE LIMESTONE BANDING TO REMAIN. PROTECT AND REPAIR PER REPAIR/PRESERVATION SHEETS

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CONSTRUCTION DOCUMENTS

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date: 02/17/2025
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sheet title:
DEMO AXON DIAGRAMS

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AD9.01

1 2 3 4 5 6 7 8 9 10 11

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DEMO PORTION OF MASONRY

5C EXISTING PHOTO 04

NOT TO SCALE



DEMO MASONRY WALL PER PLAN

REMOVE DEBRIS

8C EXISTING PHOTO 01

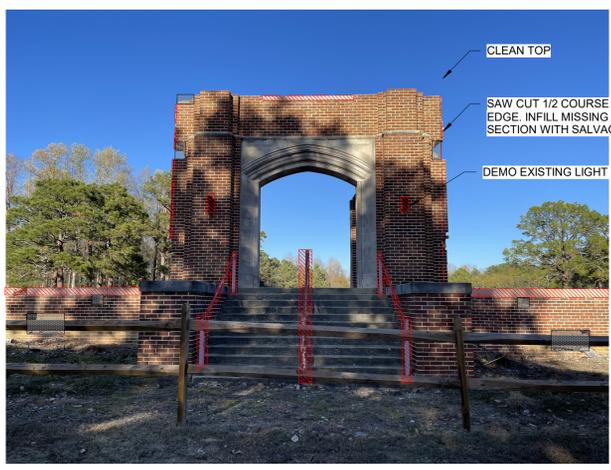
NOT TO SCALE



- DEMO CONG LEDGE AND REPLACE WITH SALVAGED BRICK
- CLEAN AND PREP LEDGE FOR REPAIR
- DEMO EXISTING LIGHT FIXTURES
- CLEAN AND PREP EDGE FOR NEW MASONRY
- DEMO EXISTING CONG LEDGE
- REMOVE EXISTING CONG STAIRS AND HANDRAIL

5F EXISTING PHOTO 03

NOT TO SCALE



CLEAN TOP

SAW CUT 1/2 COURSE FOR CLEAN EDGE. INFILL MISSING MASONRY SECTION WITH SALVAGED BRICK

DEMO EXISTING LIGHT FIXTURES

8F EXISTING PHOTO 02

NOT TO SCALE

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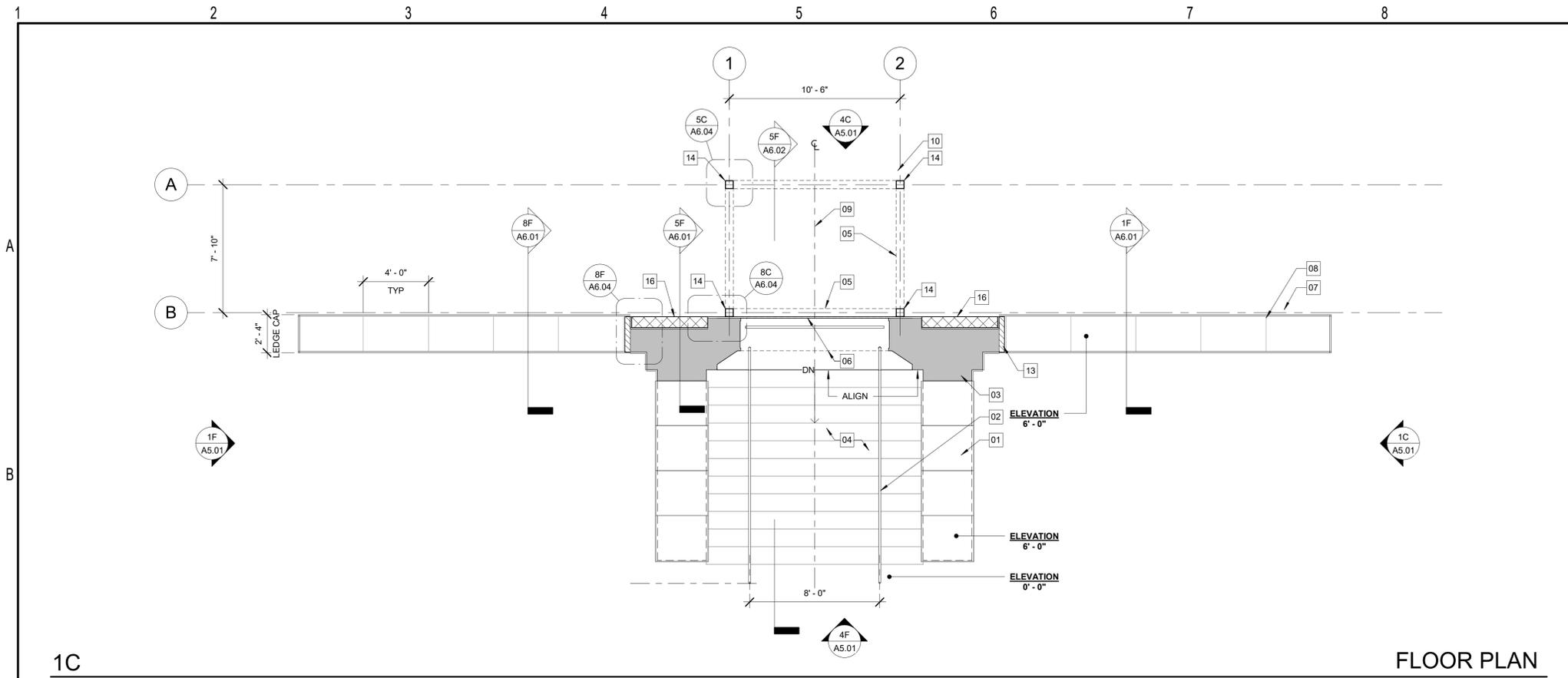
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No.	Description	Date

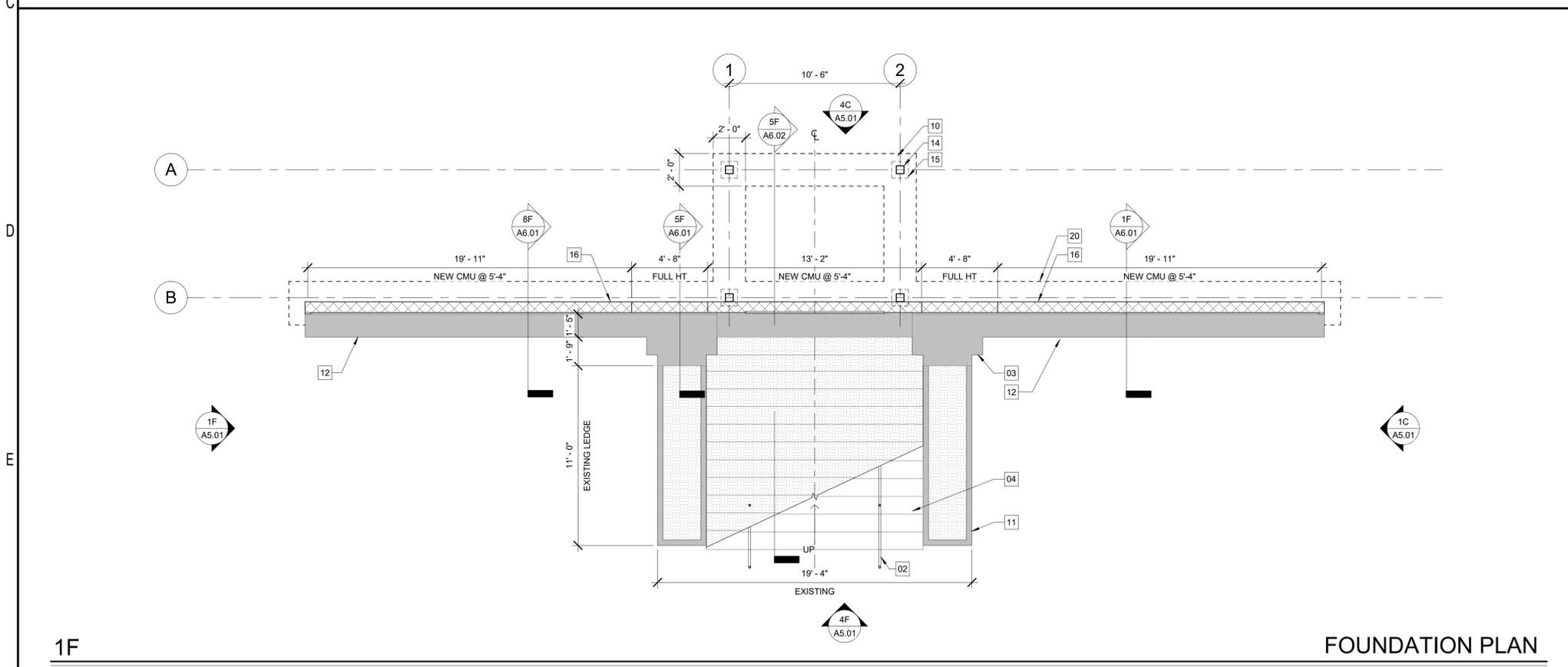
date: 02/17/2025
commission: 23-670

sheet title:
EXISTING PHOTOS

sheet no.:
AD9.02



1C FLOOR PLAN
1/4" = 1'-0"



1F FOUNDATION PLAN
1/4" = 1'-0"

GENERAL NOTES - PLAN

- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH 2018 NCSBC AND ANY LOCAL CODES. CLEARANCES AND ACCESSIBILITY SHALL COMPLY WITH ANSI A117.1.
- ALL PLAN DIMENSIONS ARE TO FACE OF STUD/STRUCTURE & COLUMN CENTER LINE UNLESS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD/STRUCTURE & COLUMN CENTERLINE UNLESS NOTED OTHERWISE.
- PLANS MAY BE ROTATED FOR CLARITY.
- PROJECT SCOPE INCLUDES REPAIR AND STABILIZATION ONLY. STRUCTURE ACCESSIBILITY AND SITE ELEMENTS NOT PART OF THIS DRAWING SET



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KEYNOTES

- EXISTING STONE LEDGE CAP REMOVE, CLEAN AND RESET IN ORIGINAL LOCATION ON MASONRY WALLS
- NEW 1 1/2" DIA STEEL PIPE HANDRAIL, PAINT WITH HIGH PERFORMANCE PAINT, COLOR TBD
- EXISTING MASONRY STRUCTURE, SEE ELEVATIONS AND REPAIR/PRESERVATION NOTES
- EXISTING MONOLITHIC CONCRETE STAIR, PATCH AND REPAIR AND RESURFACE AS NEEDED.
- STRUCTURAL HSS TUBE STEEL BEAM ABOVE
- EXISTING LIMESTONE ARCHED ENTRYWAY ABOVE
- NEW CONCRETE LEDGE CAP WITH CHAMFERED EDGE (EDGE PROFILE TO MATCH EXISTING), MATCH COLOR TONE WITH EXISTING LIMESTONE STRUCTURE
- RAKE BACK MORTAR AND APPLY SEALANT JOINT AT CONCRETE LEDGE COPING
- DASHED LINE DENOTES CENTERLINE
- CAST IN PLACE REINFORCED CONCRETE FOOTING
- EXISTING BRICK MASONRY LEDGE WALL TO REMAIN, PROTECT IN PLACE, REFERENCE REPAIR/ PRESERVATION SHEETS FOR MORE INFORMATION
- EXISTING MASONRY WING WALL, PROTECT IN PLACE, SEE ELEVATIONS FOR EXTENT OF INFILL
- NEW MASONRY END WALL, USE SALVAGED BRICKS AND MATCH MORTAR TYPE AND JOINT SPACING TO EXTENT POSSIBLE. WEAVE NEW WALL INTO EXISTING FOR SEAMLESS APPEARANCE
- NEW HSS 6X6X1/4 STEEL COLUMN, PAINT WITH HIGH PERFORMANCE EXTERIOR PAINT, COLOR TBD
- 12X12X1/2" BASE PLATE WITH 4 3/4" DIA THREADED ROD ANCHORS, PROVIDE LEVELING NUTS AND 2" OF GROUT UNDER BASE PLATE, TYP.
- NEW 8" REINFORCED CMU WALL W/ CONNECTION TO EXIST MASONRY, SEE WALL SECTION FOR CONNECTION DTL
- NEW HSS 6X6X1/4 STEEL BEAM, PAINT WITH HIGH PERFORMANCE EXTERIOR PAINT COLOR TBD
- EXISTING LIMESTONE ARCHED ENTRY, PROTECT IN PLACE, SEE REPAIR/PRESERVATION SHEETS FOR CLEANING AND REPAIR PROCEDURES
- EXISTING DECORATIVE LIMESTONE BANDING TO REMAIN, PROTECT AND REPAIR PER REPAIR, PRESERVATION SHEETS
- CONCRETE FOUNDATION, SEE SECTIONS
- NOT USED
- NEW CONCRETE PARAPET CAP, MATCH LEDGE CAP

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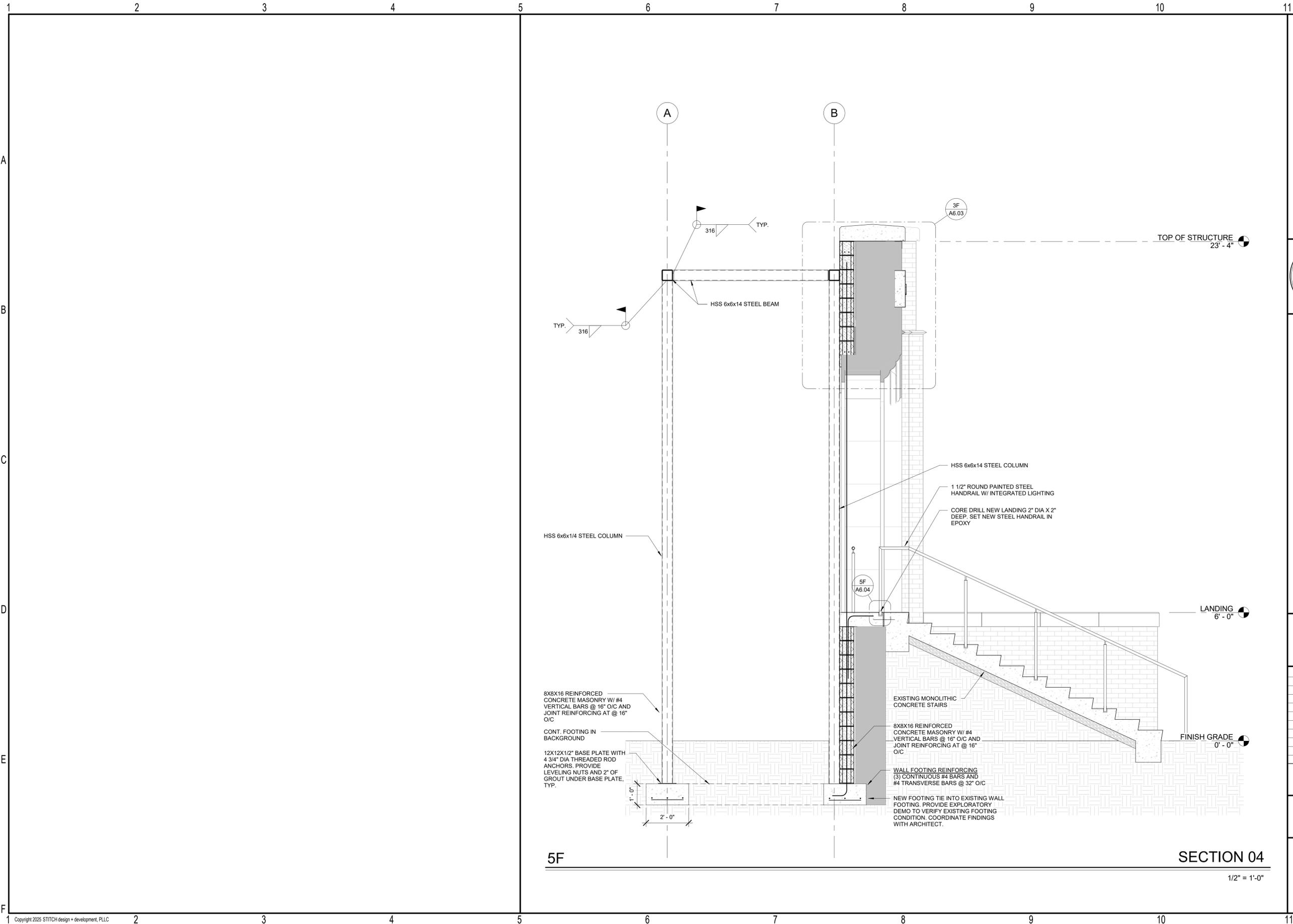
CONSTRUCTION DOCUMENTS

Revisions		
No.	Description	Date

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commission: Z3-670

sheet title: **FLOOR PLANS**

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5F

SECTION 04

1/2" = 1'-0"

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CONSTRUCTION DOCUMENTS

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No.	Description	Date

date: 02/17/2025
commission: 23-670

sheet title: **SECTIONS**

sheet no.: **A6.02**

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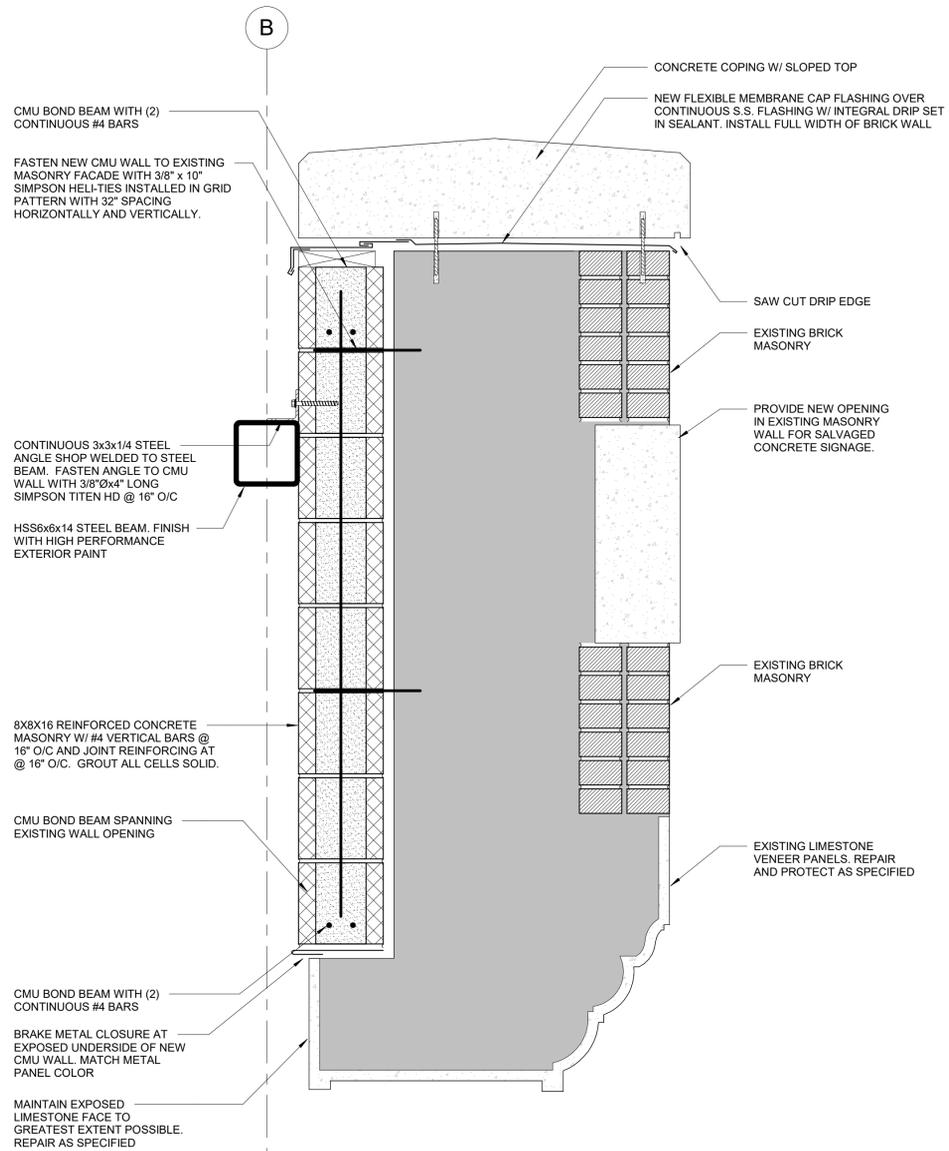
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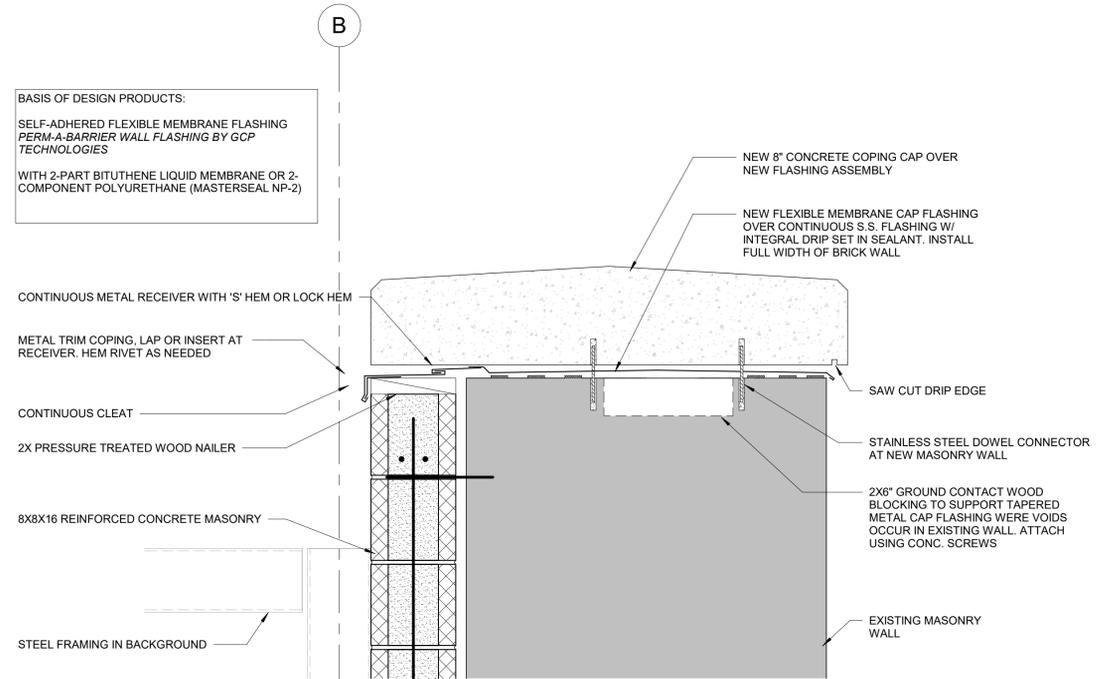
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3F

WALL HEAD DETAIL

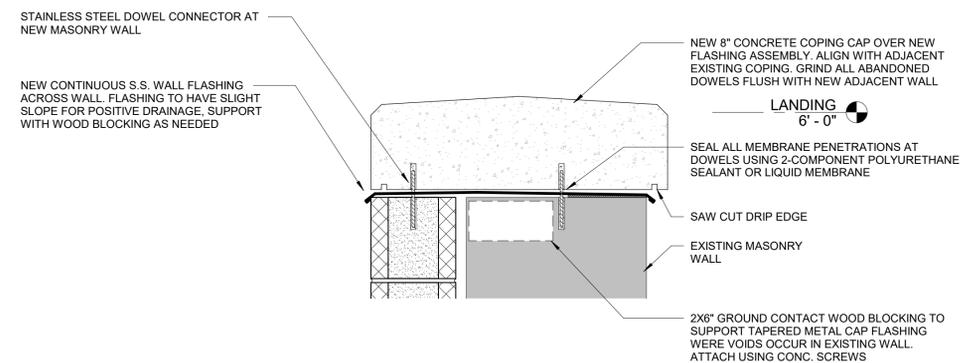
1 1/2" = 1'-0"



7D

PARAPET DETAIL

1 1/2" = 1'-0"



7F

LEDGE CAP DETAIL

1 1/2" = 1'-0"

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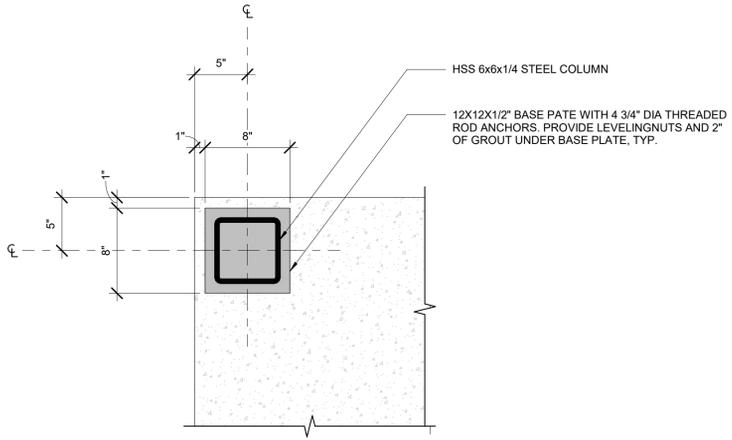
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Revisions		
No.	Description	Date

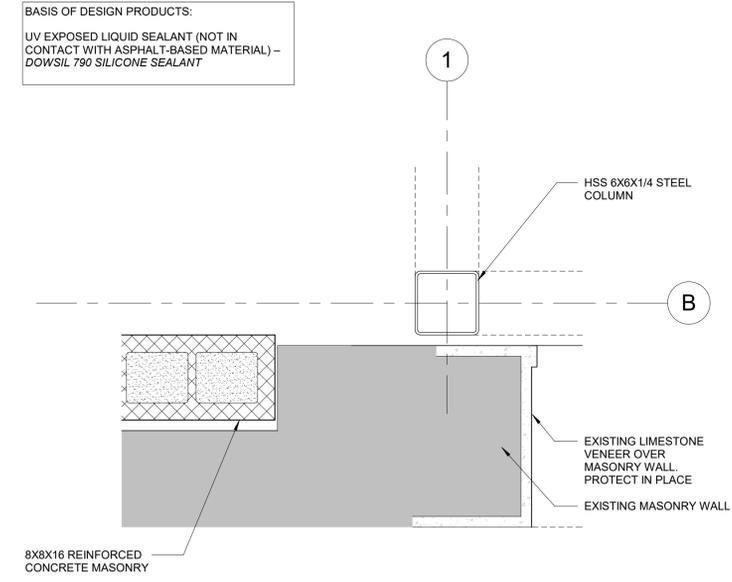
date: 02/17/2025
commission: 23-670

sheet title: **DETAILS**

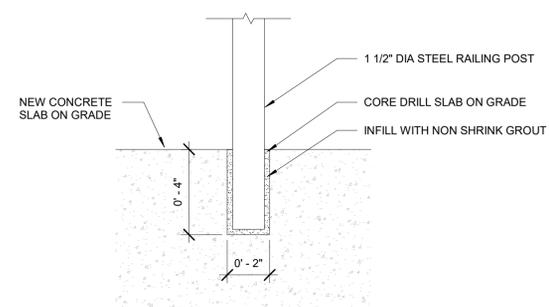
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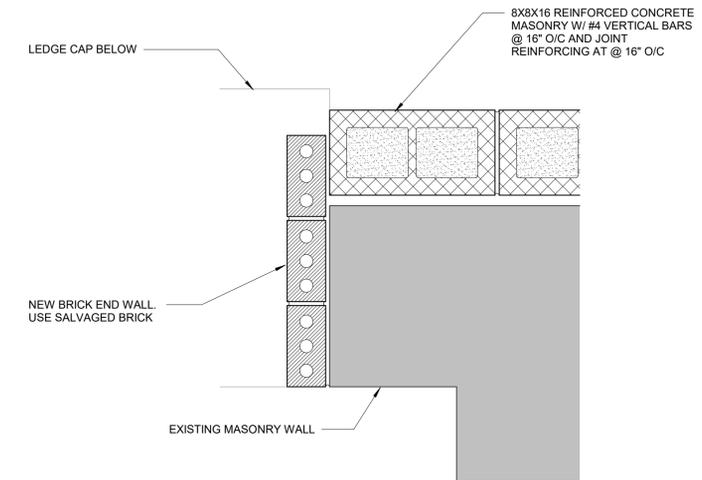
5C TYPICAL COLUMN BASE PLATE
1 1/2" = 1'-0"



8C PLAN DETAIL 02
1 1/2" = 1'-0"



5F HANDRAIL SECTION DETAIL
3" = 1'-0"



8F PLAN DETAIL 01
1 1/2" = 1'-0"

BASIS OF DESIGN PRODUCTS:
UV EXPOSED LIQUID SEALANT (NOT IN CONTACT WITH ASPHALT-BASED MATERIAL) - DOWSIL 790 SILICONE SEALANT

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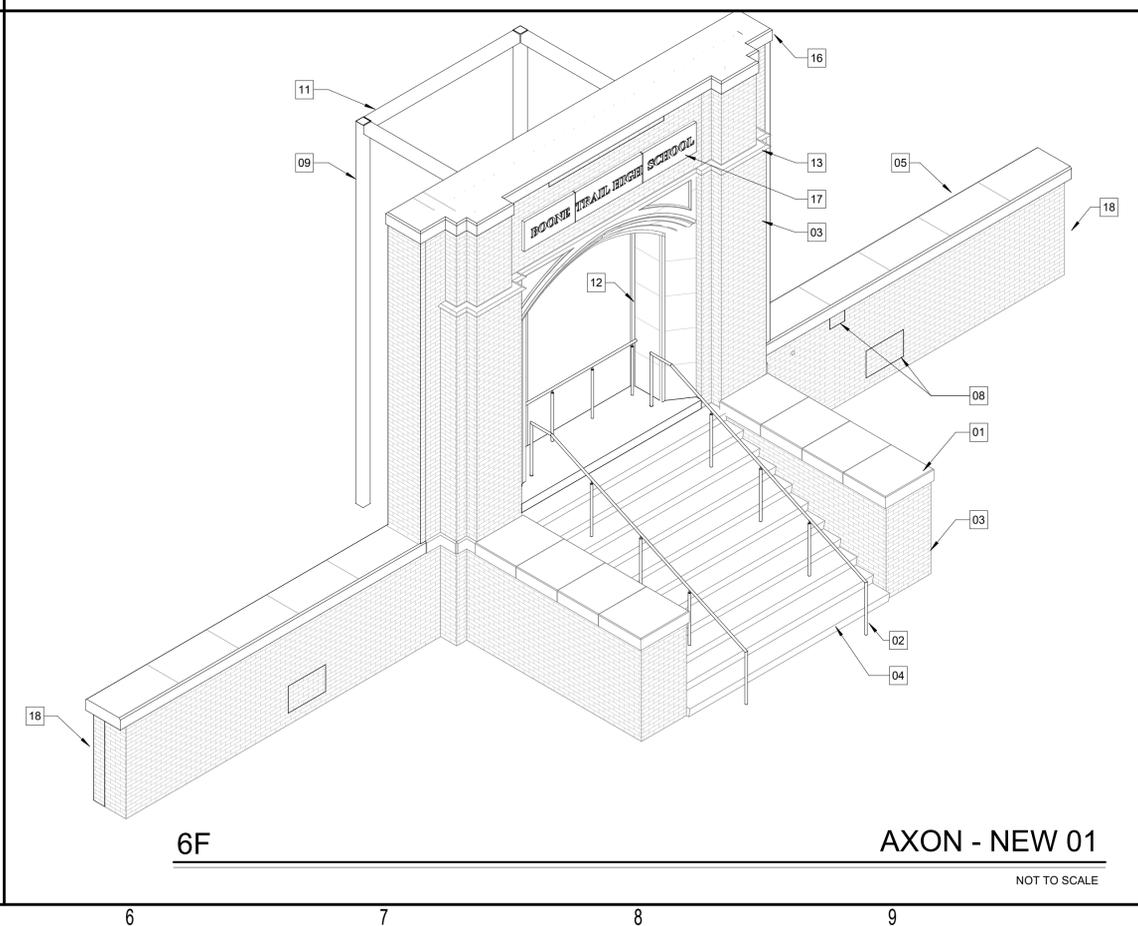
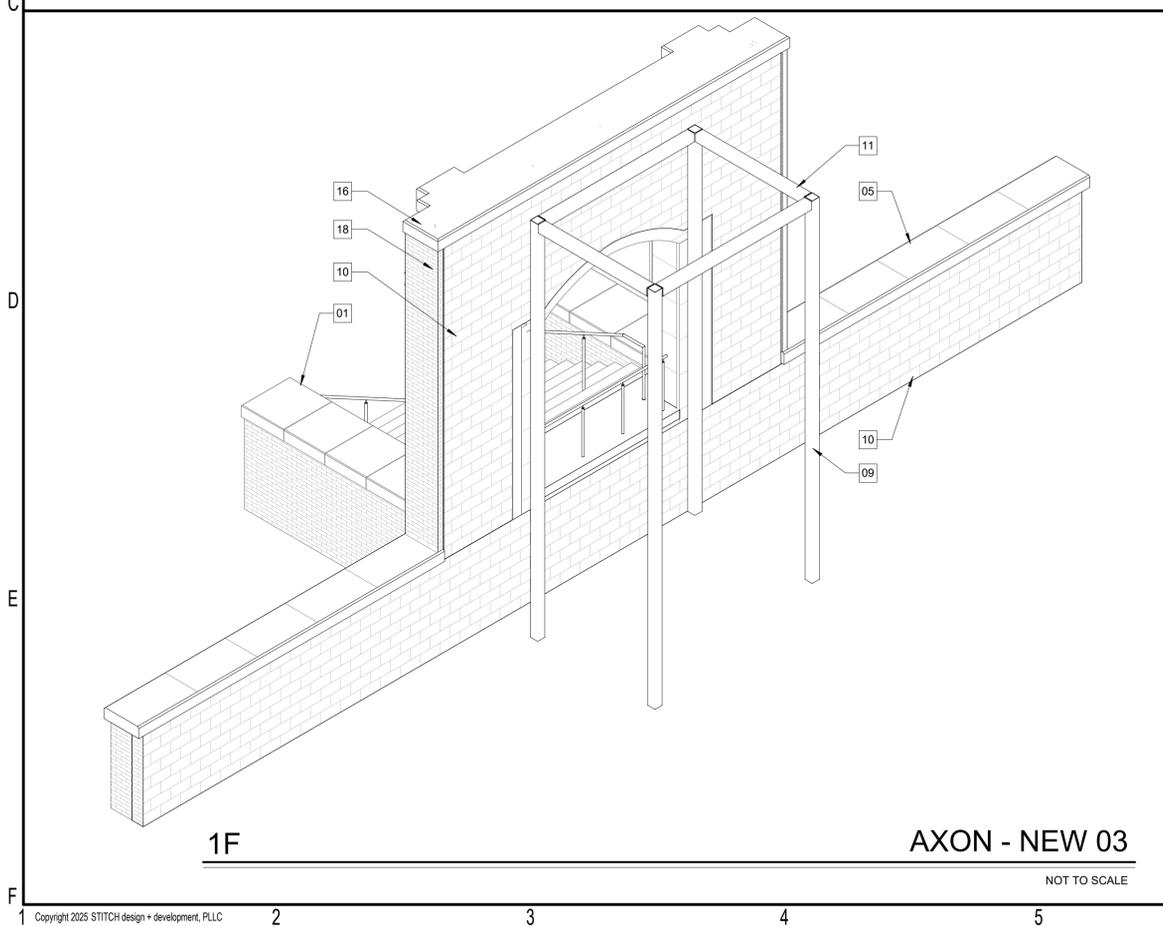
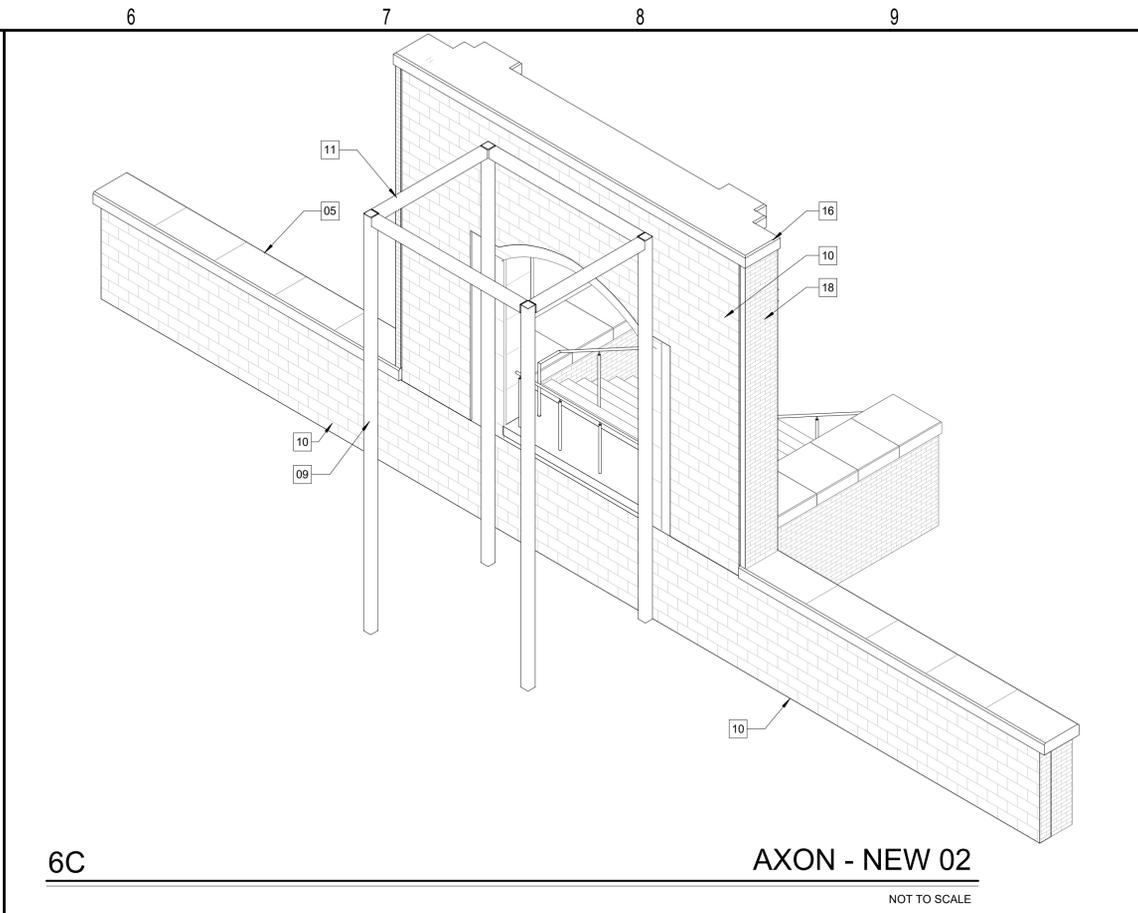
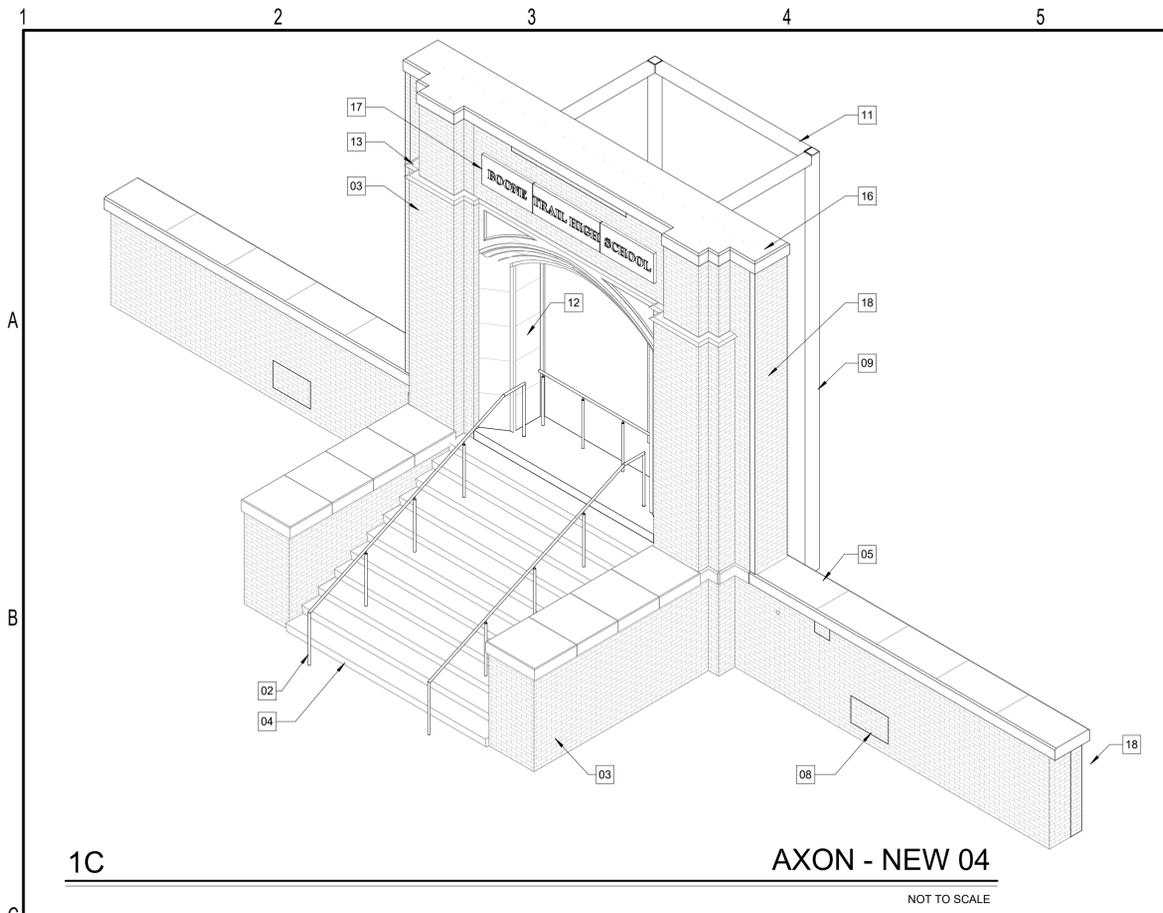
date: 02/17/2025
commission: Z3-670

sheet title: **DETAILS**

sheet no.: **A6.04**

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- KEYED NOTES**
- 01 EXISTING STONE LEDGE CAP. REMOVE, CLEAN AND RESET IN ORIGINAL LOCATION ON MASONRY WALLS
 - 02 NEW 1 1/2" DIA STEEL PIPE HANDRAIL, PAINT WITH HIGH PERFORMANCE PAINT, COLOR TBD
 - 03 EXISTING BRICK MASONRY WALL TO REMAIN. SEE REPAIR/PRESERVATION SHEETS FOR SCOPE
 - 04 EXISTING MONOLITHIC CONCRETE STAIR. PATCH AND REPAIR AND RESURFACE AS NEEDED.
 - 05 NEW CONCRETE LEDGE CAP WITH CHAMFERED EDGE (EDGE PROFILE TO MATCH EXISTING). MATCH COLOR TONE WITH EXISTING LIMESTONE STRUCTURE. PROVIDE MOCKUP SAMPLES FOR OWNER REVIEW AND APPROVAL
 - 06 DASHED LINE DENOTES CENTERLINE
 - 07 NOT USED
 - 08 INFILL EXISTING MASONRY OPENING WITH SALVAGED BRICK. COORDINATE SALVAGE STOCK WITH OWNER. MATCH MORTAR COLOR AND COMPOSITION WITH EXISTING. MATCH BOND LAYOUT FOR SEAMLESS TRANSITION AND INFILL.
 - 09 NEW HSS 6X6X1/4 STEEL COLUMN. PAINT WITH HIGH PERFORMANCE EXTERIOR PAINT. BASIS OF DESIGN:

PRIMER
SHERWIN WILLIAMS MACROPOXY 646 EPOXY PRIMER (2 COATS)

FINISH PAINT
SHERWIN WILLIAMS INDUSTRIAL ENAMEL ALKYD (2 COATS)
 - 10 NEW 8" REINFORCED CMU WALL W/ CONNECTION TO EXIST MASONRY. SEE WALL SECTION FOR CONNECTION DTL. PAINT TO MATCH BRICK COLOR
 - 11 NEW HSS 6X6X1/4 STEEL BEAM. PAINT WITH HIGH PERFORMANCE EXTERIOR PAINT, PER CL BOD
 - 12 EXISTING LIMESTONE ARCHED ENTRY. PROTECT IN PLACE. SEE REPAIR/PRESERVATION SHEETS FOR CLEANING AND REPAIR PROCEDURES
 - 13 EXISTING DECORATIVE LIMESTONE BANDING TO REMAIN. PROTECT AND REPAIR PER REPAIR/PRESERVATION SHEETS
 - 14 NOT USED
 - 15 NOT USED
 - 16 NEW CONCRETE PARAPET CAP. MATCH LEDGE CAP
 - 17 SALVAGED CONCRETE BUILDING SIGNAGE. INSET IN EXISTING MASONRY WALL PER SECTION DETAILS
 - 18 NEW BRICK MASONRY END WALL. CONSTRUCT WITH SALVAGED MASONRY. COORDINATE WITH OWNER FOR STOCK. WEAVE NEW BRICK INTO EXISTING TO CREATE SEAMLESS CORNER
 - 19 NEW MASONRY INFILL. USE SALVAGED BRICK TO MATCH EXISTING



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CONSTRUCTION DOCUMENTS

Revisions		
No.	Description	Date

date: 02/17/2025
commission: 23-670

sheet title:
AXON DIAGRAMS

sheet no.:
A9.01

1 2 3 4 5 6 7 8 9 10 11

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5C

CONCEPTUAL RENDERING 02

NOT TO SCALE



5F

CONCEPTUAL RENDERING 01

NOT TO SCALE

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CONSTRUCTION DOCUMENTS

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CONCEPTUAL RENDERINGS

sheet no.:

A9.02

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