



HARNETT COUNTY CENTRAL PERMITTING

MANUFACTURED HOME PERMIT GUIDE

SINGLEWIDE/ DOUBLEWIDE/ TRIPLEWIDE

STEP ONE (if not in Mobile Home Park): Complete the Residential Land Use Application, using Harnett County's GIS.

- Quick Access Link: <https://gis.harnett.org/gisviewer/>
- If GIS does not reflect a matching Owner, an updated Deed or Offer to Purchase will be required.
- If the Zoning Jurisdiction populates as Coats or Erwin, a Zoning Permit will need to be obtained from the respective Town Office **before** any forms can be submitted to Harnett County.
- Residents located in Angier, Dunn, or Lillington's Zoning Jurisdiction will obtain their building permits from their respective Towns, but they will go through Harnett County for their Septic Permit. However, a Zoning Permit from their Town Office will be required **before** any forms can be submitted to Harnett County.
- *If the property is located in a Mobile Home Park, complete the Application for Existing Septic Tank in a Mobile Home Park & provide the Lease Agreement instead of submitting the Residential Land Use Application. Applicants in a Mobile Home Park will pay the \$100 Existing Septic Fee & skip to Step 4.*

STEP TWO: Draw a detailed Site Plan, using Harnett County's GIS.

- Quick Access Link: <https://gis.harnett.org/gisviewer/>
- The Site Plan needs to show all existing & proposed structures to include any dwellings, driveways, walkways, steps, porches, patios, decks, pools, wells, easements etc. with distances from the proposed structure to all property lines.
- *If proposed structures are within 10% of minimum setback requirements, a Setback Verification Survey will be required.*
- For properties on septic sewage systems, a thorough site plan aids the Environmental Health Department in locating an appropriate location for the septic tank.

*Septic Permits & Well Permits are obtained at the Central Permitting Department.
Steps One & Two must be completed and the fee must be paid before Environmental Health's review begins.*

NEW SEPTIC TANK FEE \$750.00

EXISTING SEPTIC FEE \$100.00

NEW WELL PERMIT \$250.00

REVISIONS WILL INCURE FEES

(Improvement Permit is valid for 5 years from issue date, or 6 months if tank is installed)

STEP THREE: Complete the Manufactured Home Zoning Criteria Certification for RA-20R/RA-20M or RA-30.

- Applicants replacing an existing Manufactured Home will complete the Manufactured Home Replacement & Removal Certification instead of the aforementioned Zoning Criteria Certification.

STEP FOUR: Complete Manufactured Home Set-Up Application to include a full list of contractor information.

STEP FIVE: Submit a Moving Permit (if purchasing from an individual) or Bill of Sale (if purchasing from a dealer).

- Effective July 1, 2004, a Moving Permit must be obtained from the Tax Department of the county the manufactured home is being moved from.
- If the home is being purchased from a dealer, the Bill of Sale (Form 500) must be provided to show proof of manufactured year as well as the serial number.

FAQs

What are the standard Residential Zoning Setbacks in Harnett County?

- Front 35 Feet
- Rear 25 Feet
- Side 10 Feet
- Corner Side 20 Feet

*Note: Private Deed Restrictions, Recorded Subdivision Plats, Restrictive Covenants, or Homeowners Association Regulations might require setbacks that exceed those above—the more restrictive requirements will govern the setbacks.

What fees can I expect?

- \$25 Land Use Fee, if applicable.
- \$150 for Singlewide
- \$200 for Doublewide
- \$225 for Triplewide

Phone Numbers to Remember:

- Central Permitting (Permitting, Inspections) 910-893-7525 ext 1
- Planning (Zoning Inquiries, Board of Adjustments, Recombinations) 910-893-7525 ext 2
- Environmental Health 910-893-7547
- NCDOT 910-893-4020 local | 910-364-0601 regional

Site Plan Submittal Guide

When applying for a permit to construct a structure on a parcel of property, a Site Plan of the proposed development is **required** in order to ensure developmental standards and guidelines are met. All features for the lot that are identified on the recorded plat shall be identified on the site plan, including but not limited to easements, wetlands, and building setbacks. The Administrator shall assume no responsibility for any errors or absent information on the site plan, nor will the Administrator assume responsibility for drawing or assisting in the creation of the site plan. Residential site plans shall be approved by the Administrator and professionally drawn site plans may be required as determined by the Administrator.

A Setback Verification Survey will be required in certain circumstances as an attempt to avoid any untimely delays or situations that might affect the inspection approval process; the survey shall include all components of the building footprint including porches, decks, patios, etc...

Conditions & Requirements

The Site Plan shall be drawn to scale if the following conditions apply:

- The applicant is a licensed general contractor; or
- The proposed lot contains a recorded easement, other than for ingress/egress.

A professionally drawn As-Built Survey (Setback Verification Survey) performed and certified by a North Carolina Land Surveyor shall be **required** in cases in which the following conditions apply:

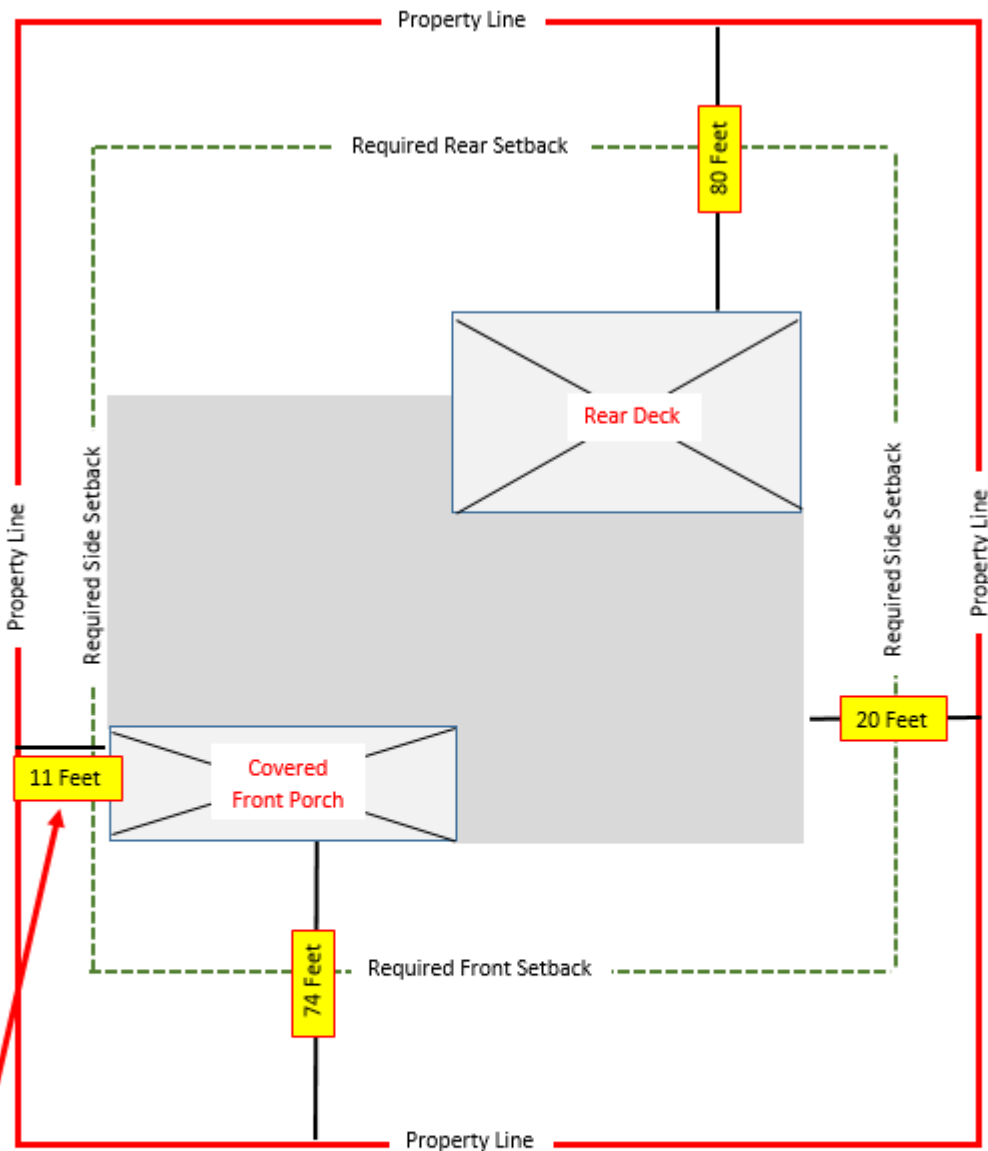
- The proposed lot is less than 15,000 square feet; or
- The proposed structure is within 10% of the required building setbacks; or
- In cases where it cannot be determined that building setbacks are being met on nonresidential lots; or
- The Floodplain Administrator is unable to determine whether or not the proposed structure is located within a floodplain; or
- The proposed lot is located within an identified watershed with impervious surface limitations.

Standard Residential Setbacks

- Front – 35 Feet
- Side – 10 Feet
- Rear – 25 Feet
- Corner Side – 20 Feet

**Note: Private Deed Restrictions, Recorded Subdivision Plats, Restrictive Covenants, or Homeowners Association Regulations might require setbacks that exceed those above—the more restrictive requirements will govern the setbacks.*

Site Plan Example:



Harnett County Avenue North

*A Setback Verification Survey will be required for this example because one of the following criteria was met:

- Setback (Located Within 10% of Required Setback)
- Floodplain Administrator Cannot Determine / Verify Floodplain
- Lot Size (Less Than 15,000 sq. ft.)
- Located Within Watershed w/Impervious Surface Limitations
- Setback Cannot Be Determined / Verified

RESIDENTIAL LAND USE APPLICATION

SITE ADDRESS: _____ **PIN:** _____

LANDOWNER: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____ Phone: _____ Email: _____

**Please fill out applicant information if different than landowner.*

APPLICANT: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____ Phone: _____ Email: _____

PROPOSED USE:

Single Family Dwelling: (Size ____x____) # Bedrooms:____ # Baths:____ **Garage:** Attached, Detached **Accessory:** Deck, Patio, Porch
(Circle One) (Circle One)

TOTAL HTD SQ FT: _____ **GARAGE SQ FT:** _____ **Foundation Type:** Crawl Space Stem Wall Mono Slab Basement

Modular: (Size ____x____) # Bedrooms:____ # Baths:____ **Garage:** Attached, Detached **Accessory:** Deck, Patio, Porch
(Circle One) (Circle One)

TOTAL HTD SQ FT: _____

Manufactured Home: SW DW TW (Size ____x____) # Bedrooms: _____ **Garage:** Attached, Detached **Accessory:** Deck, Patio
(Circle One) (Circle One)

ZONING: _____

Duplex: (Size ____x____) # Buildings: _____ # Bedrooms Per Unit: _____ **TOTAL HTD SQ FT:** _____

Addition/Accessory/Other: (Size ____x____) Use: _____

UTILITIES:

Water Supply: County Existing Well New Well (# of dwellings using well _____)

Sewage Supply: New Septic Tank Expansion Relocation Existing Septic Tank County Sewer

(Complete Environmental Health Checklist on other side of application if Septic is selected)

GENERAL PROPERTY INFORMATION:

Does the landowner own another tract that contains a manufactured home within 500 feet? YES NO

Does the property contain any easements, whether underground or overhead? YES NO

Structures (existing or proposed): Single Family Dwellings: _____ Manufactured Homes: _____ Other (specify): _____

If permits are granted, I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that the foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Signature of Owner or Owner's Agent

Date

Permits are valid for 6 months from the issue date, or 12 months from last inspection once inspections have been initiated. It is the owner/applicant's responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.



Environmental Health Department Application for Improvement Permit and/or Authorization to Construct

If the information in this application is falsified, changed, or the site is altered, then the permit shall become invalid. This permit will be valid for 60 months.

NEW SEPTIC SYSTEM INSPECTION

- All property irons must be made visible. Place pink flags on each corner of lot & approximately every 50 feet between corners.
- Place orange flags at the corners of each proposed structure per site plan submitted to Central Permitting.
- Post orange Environmental Health sign in location that is visible from road to assist in locating property.
- If property is thickly wooded, you will be required to clean out the undergrowth to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. DO NOT GRADE PROPERTY.

EXISTING TANK INSPECTION

- Follow above instructions for placing flags and sign on property.
- Prepare for inspection by removing soil over outlet end of tank, lift lid straight up (if possible), and then put lid back in place. *Does not apply to septic tank in a mobile home park*
- DO NOT LEAVE LIDS OFF OF SEPTIC TANK

SEPTIC CHECK LIST

If applying for Authorization to Construct, please indicate desired system type(s): Can be ranked in order of preference, must choose one.

- Accepted Innovative Conventional Any Alternative
- Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes," applicant MUST ATTACH SUPPORTING DOCUMENTATION:

- YES NO Does the site contain any jurisdictional wetlands?
- YES NO Do you plan to have an irrigation system now or in the future?
- YES NO Does or will the building contain any drains? Please explain: _____
- YES NO Are there any existing wells, springs, waterlines, or wastewater systems on this property?
- YES NO Is any wastewater going to be generated on the site other than domestic sewage?
- YES NO Is the site subject to approval by any other Public Agency?
- YES NO Are there any easements or rights-of-way on this property?
- YES NO Does the site contain any existing water, cable, phone, or underground electric lines?
If yes, please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I have read this application and certify that the information provided herein is true, complete, and correct. Authorized County and State Officials are granted right of entry to conduct necessary inspections to determine compliance with applicable laws and rules. I understand that I am solely responsible for the proper identification and labeling of all property lines and corners and making the site accessible so that a complete site evaluation can be performed. I understand that a \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot is confirmed to be ready.

Signature of Owner or Owner's Agent

Date

MANUFACTURED HOME SET-UP APPLICATION

MANUFACTURED HOME INFORMATION

Site Address: _____ PIN: _____

Model Year: _____ Size: _____ X _____

Park Name: _____ Lot Number: _____

OWNER INFORMATION

Manufactured Homeowner: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

**Please complete landowner if different than above.*

Landowner: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Email: _____

CONTRACTOR INFORMATION

* Must be owner or licensed contractor. Address, company name & phone must match information on license.

SET UP CONTRACTOR INFORMATION

Set Up Contractor's Company Name _____

Phone _____

Address _____

Email _____

License # _____

ELECTRICAL CONTRACTOR INFORMATION

Electrical Contractor's Company Name _____

Phone _____

Address _____

Email _____

License # _____

MECHANICAL/HVAC CONTRACTOR INFORMATION

Mechanical Contractor's Company Name _____

Phone _____

Address _____

Email _____

License # _____

PLUMBING CONTRACTOR INFORMATION

Plumbing Contractor's Company Name _____

Phone _____

Address _____

Email _____

License # _____

I hereby certify that I have the authority to apply for this permit, that the application is correct including the contractor information, and that the construction or installation will conform to the applicable manufactured home set-up requirements and the Harnett County Zoning Ordinance. I understand that if any item is incorrect or false information has been provided that this permit could be revoked.

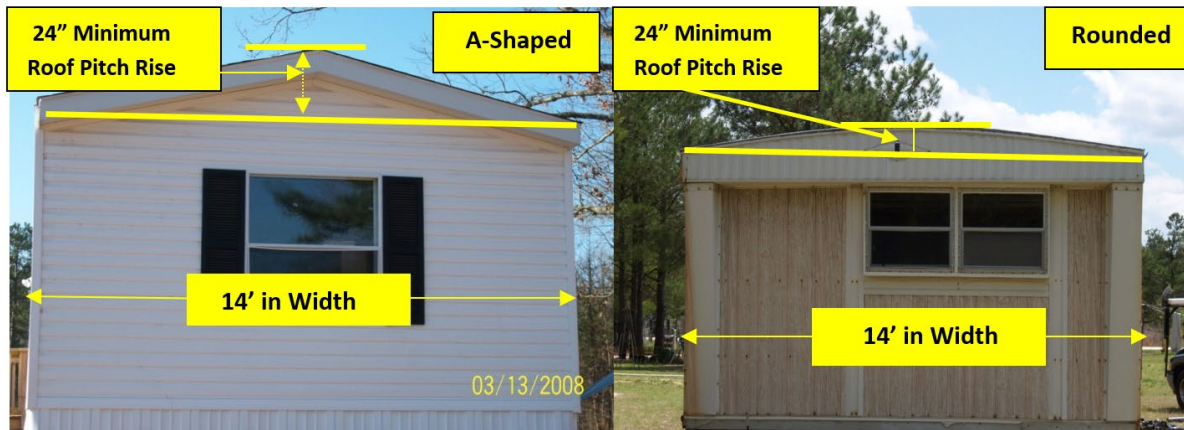
Signature of Homeowner or Agent

Date

RA-20R & RA-20M ZONING CRITERIA CERTIFICATION

I, _____, understand that because the site address, _____, is located in a **RA-20R** or **RA-20M** Zoning District, my manufactured home must meet the following criteria—which will be verified by a zoning inspection prior to the issuance of the Certificate of Occupancy:

- The home must have a pitched roof, whether A-shaped or rounded, which has a minimum rise (measured at the center of the home) of 12 inches for every 7 feet of total width of the home.
Example: A home measuring 14 feet in width must have a 24 inch rise as measured from the center of the roofline to the baseline of the roof. See illustrations below:



Note: Most rounded roofs **will not** meet the roof pitch requirement as illustrated.

- The underpinning installed around the perimeter of the home must consist of a brick curtain wall, galvanized metal sheeting, ABS, or PBC plastic color skirting with interlocking edges. Skirting shall be consistent in appearance, in good condition, continuous, permanent, and unpierced except for ventilation and access.
- The moving apparatus must be removed, underpinned, or landscaped. See examples below:



- The home must have been constructed after July 1st 1976.

By signing this form, I affirm that I understand the information above & will comply with the criteria listed.

Signature of Owner or Owner's Agent

Date

RA-30 ZONING CRITERIA CERTIFICATION

I, _____, understand that because the site address, _____, is located in a RA-30 Zoning District, the multi-section manufactured home shall meet the following appearance standards—which will be verified by a zoning inspection prior to the issuance of the Certificate of Occupancy:

1. The structure must be a multi-section unit built to the HUD code for manufactured homes.
2. When located on the site, the longest axis of the unit must be parallel to the lot frontage.
3. The structure must have a pitched roof that is covered with material commonly used in standard residential roofing construction. Said material must be installed properly and be consistent in appearance.
4. The structure must have masonry underpinning that is continuous, permanent, and unpierced except for ventilation and access.
5. The exterior siding must consist predominantly of vinyl, aluminum, wood, or hardboard; and must be comparable in composition, appearance, and durability to the exterior siding commonly used in standard residential construction.
6. Said exterior siding shall be in good condition, complete, and not damaged or loose.
7. The minimum lot size must be 1 acre, excluding any street right-of-way, and the minimum lot frontage must be 150 feet as measured at the right-of-way line or along an easement, whichever applies.
8. The tongue or towing device must be removed.
9. The home must have been constructed after July 1st 1976.

By signing this form, I affirm that I understand and agree to comply with each of the criteria listed above for the multi-section manufactured home that I propose to place on the above referenced property. I further acknowledge that a Certificate of Occupancy (CO) entitling me to apply for electric service will not be issued until each appearance criterion has been met and approved.

Signature of Owner or Owner's Agent

Date